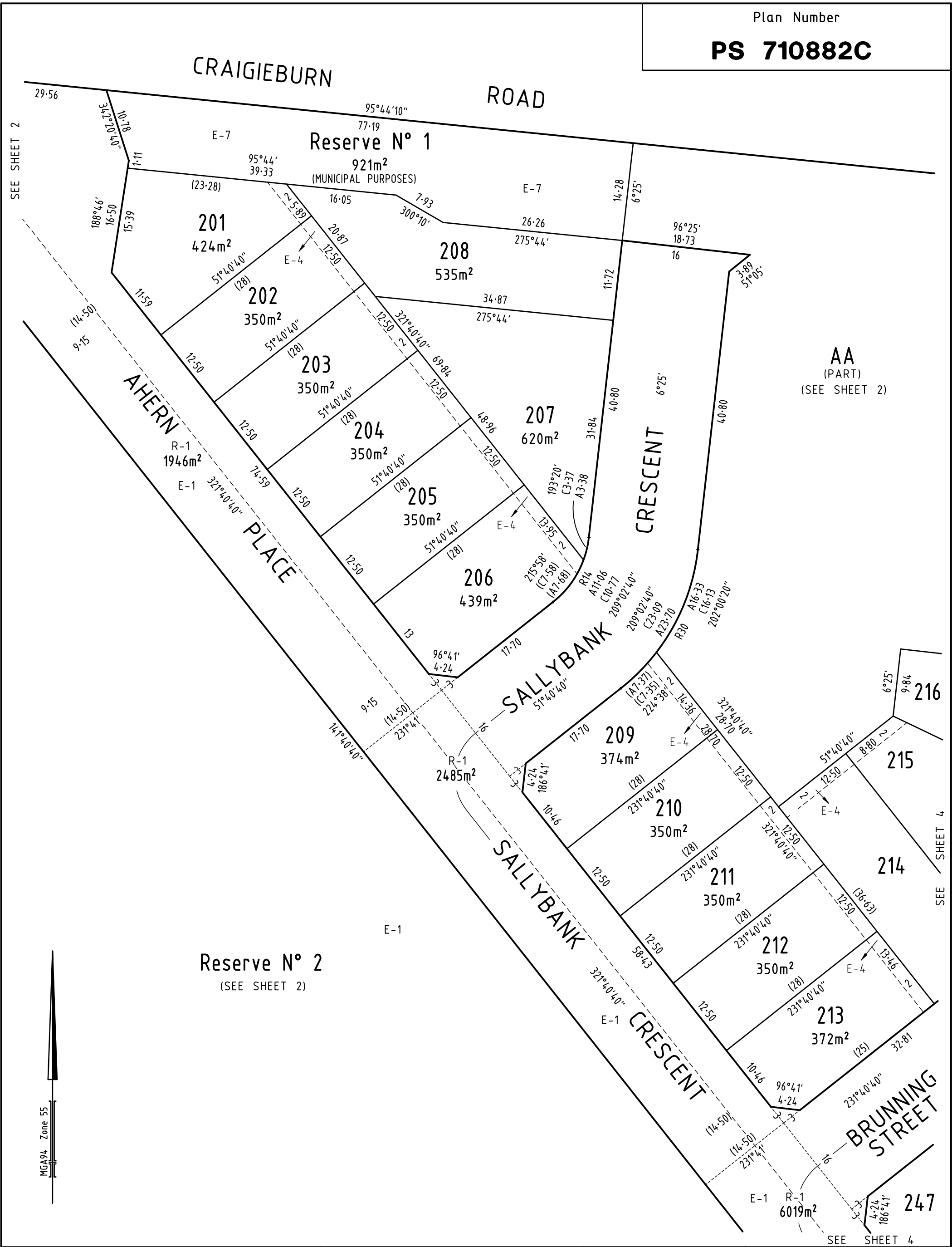


PLAN OF SUBDIVISION			LV USE ONLY EDITION		PS 710882C	
<div>Location of Land</div> <div>Parish: WOLLERT</div> <div>Township:</div> <div>Section: -</div> <div>Crown Portion: 2 & 3 SECTION 12 (PART)</div> <div>Title References: c\t Vol 11461 Fol 209</div> <div>Last Plan Reference: PS 710875Y (LOT A)</div> <div>Postal Address: 95 CRAIGIEBURN ROAD (At time of subdivision) WOLLERT VIC 3750</div> <div>MGA Co-ordinates: E 325 157 Zone: 55 (GDA 94) (Of approx. centre of plan) N 5835 735</div>			COUNCIL - CITY OF WHITTLESEA			
VESTING OF ROADS AND/OR RESERVES			NOTATIONS			
IDENTIFIER		COUNCIL/BODY/PERSON		<div>LOT NUMBERS 1 TO 200 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. Lot B comprises 2 PARTS (SEE SHEET 2)</div> <div>THE OTHER PURPOSE OF THIS PLAN IS TO CREATE THE RESTRICTION DESCRIBED HEREUNDER. <u>CREATION OF RESTRICTION</u> (Regulation 15 Subdivision (procedures) Regulations 2000)</div> <div>UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTIONS IS TO BE CREATED.</div> <div>LAND TO BENEFIT: LOTS 201 TO 272 (BOTH INCLUSIVE) ON THIS PLAN -PS 710882C LAND TO BE BURDENED: LOTS 201 TO 272 (BOTH INCLUSIVE) ON THIS PLAN - PS710882C.</div> <div>DESCRIPTION OF RESTRICTION EXCEPT WITH THE WRITTEN CONSENT OF COUNCIL THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF THE BURDENED LOTS ON THIS PLAN SHALL NOT BUILD ERECT OR CONSTRCT OR CAUSE TO BE BUILT ERECTED OR CONSTRUCTED ANY BUILDING OTHER THAN IN ACCORDANCE WITH THE FOLLOWING "BUILDING ENVELOPE SPECIFICATION."</div> <div>"BUILDING ENVELOPE SPECIFICATION"</div> <div>(a) ANY GARAGE ON THE LOT MUST NOT BE CONSTRUCTED WITHIN A 5m SETBACK FROM THE FRONT BOUNDARY, AND MUST BE STEPPED BACK FROM THE DWELLING FACADE BY AT LEAST 800mm; and</div> <div>(b) DWELLINGS ON CORNER LOTS MUST PROVIDE A SECOND STOREY SETBACK OF AT LEAST 900mm WHERE A FIRST FLOOR IS PROPOSED.</div>		
ROADS R-1 RESERVE N°s 1, 2, 4 & 5 RESERVE No 3		CITY OF WHITTLESEA CITY OF WHITTLESEA SPI ELECTRICITY PTY LTD				
NOTATIONS						
DEPTH LIMITATION - DOES NOT APPLY						
<div>Survey: This plan is based on survey (PS 710875Y)</div> <div>To be completed where applicable. This survey has been connected to permanent marks no(s). WOLLERT PM 84 (GPSnet) in Proclaimed Survey Area no. -</div> <div>Staging: This is not a staged subdivision. Planning Permit No 713236</div>						
EASEMENT INFORMATION						
Legend:A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)						
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/in Favour Of		
E-1, E-2	TRANSMISSION OF ELECRICITY	See diag	C/E D928137	STATE ELECTRICITY COMMISSION OF VICTORIA		
E-2, E-3	SEWERAGE	See diag	PS710875Y	YARRA VALLEY WATER		
E-4, E-6	SEWERAGE	See diag	THIS PLAN	YARRA VALLEY WATER		
E-5, E-6	DRAINAGE	See diag	THIS PLAN	CITY OF WHITTLESEA		
E-7	Telecommunications, electricity & data transmission by underground cable, supply of gas	See diag	THIS PLAN	Lots on this plan		
Woodcrest Estate Stage 2 - 10.745ha (inc. reserves 1-5) - 76 Lots			DIGITALLY SIGNED BY LICENSED SURVEYOR: Robert G Bortoli REF 2002B VERSION 3		Sheet 1 of 6 Sheets	
<div><div><div>WB</div></div><div><div>BORTOLI WELLINGTON PTY.LTD.</div><div>ABN 46 069 841 498</div><div>CONSULTING LAND SURVEYORS</div><div>Unit 14/104 FERNTREE GULLY ROAD OAKLEIGH EAST VIC 3166</div><div>PO BOX 776 MOUNT WAVERLEY VIC 3149</div><div>Phone (03) 9543 5855 FAX (03) 9543 2755</div></div></div>					ORIGINAL SHEET SIZE A3	
2015-03-29 2002b-1			2015-03-30			

Plan Number

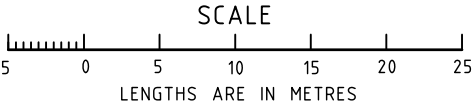
PS 710882C



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2015-03-29 2002B-3

3/30/15



REF 2002B
VERSION 3

Digitally signed by
LICENSED SURVEYOR: Robert G Bortoli

ORIGINAL

SCALE
1:500

SHEET
SIZE
A3

Sheet 3

SEE SHEET 4

SEE SHEET 2

Plan Number

PS 710882C

AA
(PART)
(SEE SHEET 2)

Reserve N° 3
40m²
(FOR THE USE OF
SPI ELECTRICITY Pty Ltd)

FRISBY
STREET

GOODIA
STREET

BRUNNING
STREET

BRUNNING
STREET

STREET

Reserve N° 2
(SEE SHEET 2)

MEGA94 Zone 55

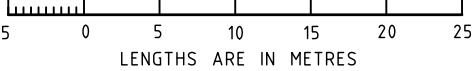


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2015-03-29 2002B-4

3/30/15

SCALE



LENGTHS ARE IN METRES

ORIGINAL

SCALE
1:500

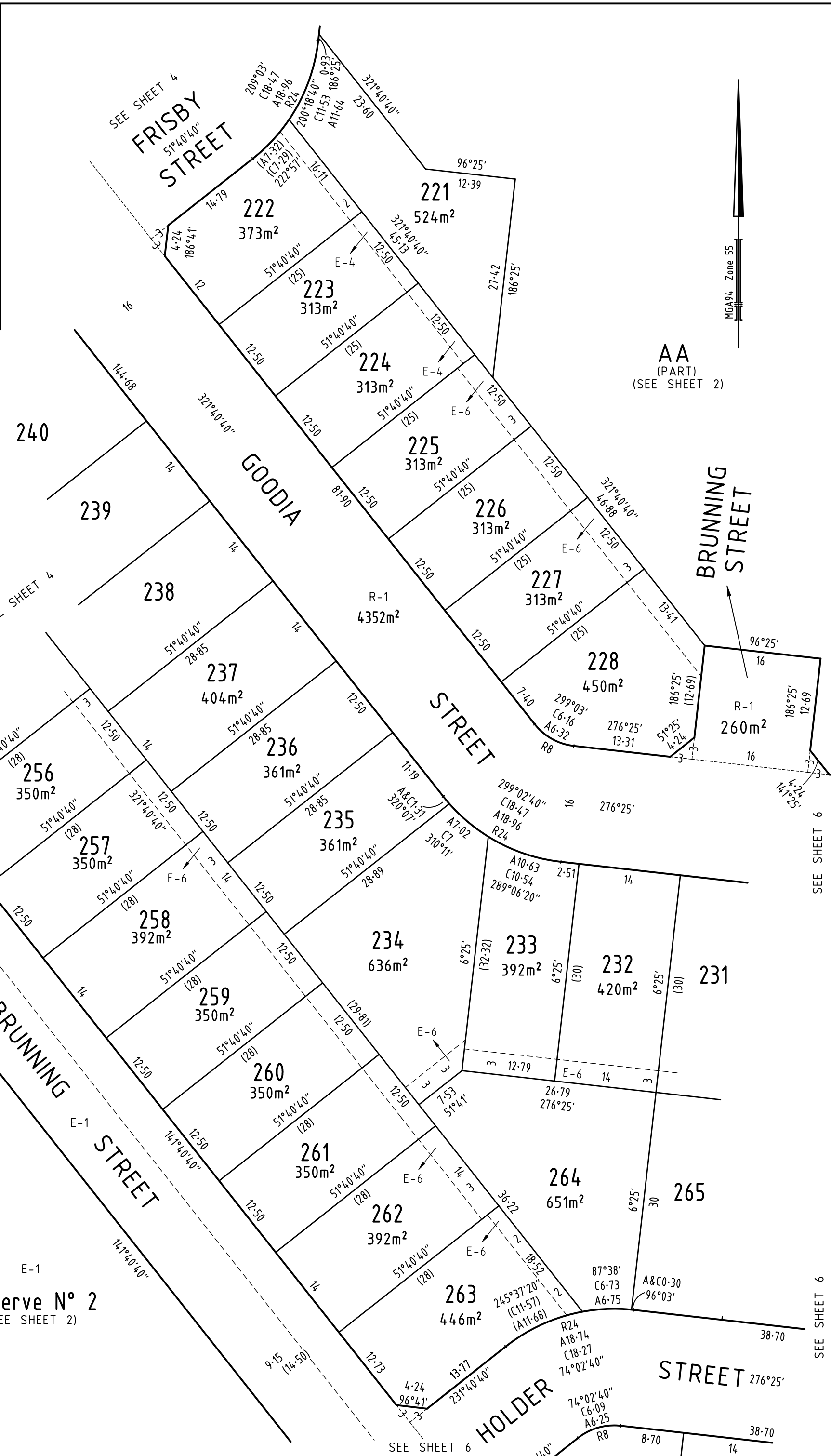
SHEET
SIZE
A3

Sheet 4

REF 2002B
VERSION 3

Digitally signed by
LICENSED SURVEYOR: Robert G Bortoli

Plan Number
PS 710882C



Sheet 5

DIGITALLY SIGNED BY
LICENSED SURVEYOR: Robert G Bortoli

SCALE

LENGTHS ARE IN METRES

ORIGINAL

SCALE 1:500

SHEET SIZE A3

REF 2002B	VERSION 3
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2015-03-29 2002B-5 Phone (03) 9543 5855 FAX (03) 9543 2155 3/30/15

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ABN 46 069 841 498

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2015-03-29 2002B-5 3/30/15

